

# DEVELOPMENT REVIEW BOARD REPORT



MEETING DATE: March 10, 2005

ITEM NO. 5

CASE NUMBER/ PROJECT NAME	<b>6-DR-2005</b> <b>Scottsdale Health Care-North Medical Plaza Parking Structure</b>		
LOCATION	10244 N 92nd Street		
REQUEST	Request approval for site plan and elevations for construction of a multi-level parking structure at an existing parking lot.		
OWNER	Scottsdale Healthcare Realty Corp. 480-882-4135	ENGINEER	Evans Kuhn & Associates 602-241-0782
ARCHITECT/ DESIGNER	Kracor Inc. 480 473-2190	APPLICANT/ COORDINATOR	Chris Valocchi Scottsdale Healthcare Realty Corp 480-882-4849
BACKGROUND	<b>Zoning/Context.</b> The property is surrounded by commercial uses, is zoned Planned Commerce Park (PCP) District, and currently contains a hospital medical campus. The proposed parking structure replaces an existing surface parking lot. There are strong pedestrian connections throughout the campus, which is bisected by the Upper Camelback Walk.		
APPLICANT'S PROPOSAL	<b>Applicant's Request.</b> This is a request to approve the site plan and elevations for a new 3-level parking garage located at the existing Scottsdale Healthcare Hospital Campus. The proposed parking structure replaces much of an existing surface parking lot, and will be set back from 92 <sup>nd</sup> Street by a minimum of 80 feet to generally align with existing buildings. The proposed structure will increase the number of parking spaces provided in this parking area to approximately 315 spaces.  The 28-foot tall parking structure follows a similar design theme of the existing buildings in this portion of the medical campus. Punched openings, layered horizontal structure spans, and a color scheme consisting of light tan, light grey, and terra cotta shades help break down the mass of the project and allow it to blend in with the existing medical buildings. There will be light poles on the top deck of the structure, as well as lighting within the structure itself. The light poles on the top deck will be stipulated to the same standards as were used on previously approved structures; 12 feet maximum pole height, and a maximum footcandle level of 5.0.  Much of the existing landscaping will not be disturbed or will be replaced. Strong pedestrian connections will be maintained through this portion of the campus.		

STAFF  
RECOMMENDATION      Staff recommends approval, subject to the attached stipulations.

STAFF CONTACT(S)      Tim Curtis  
Project Coordination Manager  
Phone: 480-312-4210  
E-mail: [tcurtis@ScottsdaleAZ.gov](mailto:tcurtis@ScottsdaleAZ.gov)

APPROVED BY      \_\_\_\_\_  
Tim Curtis  
Report Author

\_\_\_\_\_

Lusia Galav, AICP  
Development Planning Manager  
Phone: 480-312-2506  
E-mail: [lgalav@scottsdaleaz.gov](mailto:lgalav@scottsdaleaz.gov)

ATTACHMENTS      1. Applicant's Narrative  
2. Context Aerial  
2A. Close-Up Aerial  
3. Zoning Map  
4. Site Plan  
5. Landscape Plan  
6. Elevations  
A. Fire Ordinance Requirements  
B. Stipulations/Zoning Ordinance Requirements



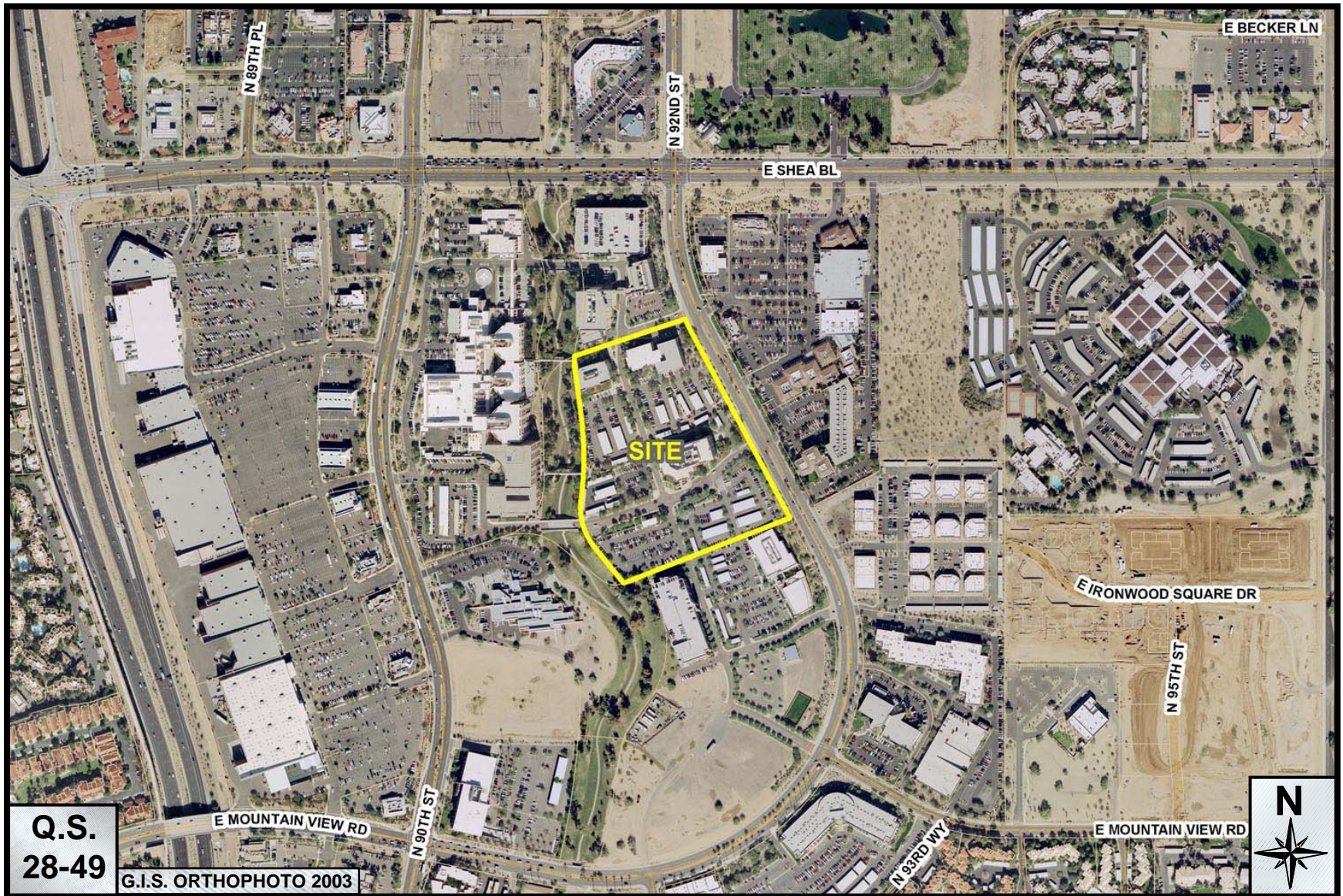
## PROJECT NARRATIVE

This New Parking Facility is located on the Scottsdale Healthcare Shea Medical Hospital Campus. The Parking Structure is located between North Medical Office Building I and North Medical Office Building III, and to the West of 92<sup>nd</sup> Street and south of Shea Blvd. The existing Site is a parking lot that provides parking for the two existing Medical Office Buildings to the north and south. Patients and Medical Office staff are the primary users of this new facility. There are approximately 150 existing parking spaces within the parking lot. This new facility will provide 315 parking spaces.

This New Parking Facility is designed to match the existing adjacent Parking Facilities and Medical Office Buildings. The structure will be three levels in height and 118,057 sq.ft. in area. Elevator and stairs are located in the north west and the southeast corners of this facility. The setback from 92<sup>nd</sup> street varies from 80' to 100' in depth, which 50' setback is the required along 92<sup>nd</sup> Street. The top of the roof parapet is 27'-8" from ground level.

Exterior colors and finished will match the existing Medical Office Buildings along 92<sup>nd</sup> Street. The exterior spandrel will move in and outward to create offsetting surfaces. Large punched opening shall create deep shadow lines at the second level. The Roof level spandrel will have a different thickness to express a linear shadow broken with vertical columns from the second level to the midpoint of the roof spandrel. With the setback from 92<sup>nd</sup> street and the extensive existing and landscaping this facility will serve a much need requirement of additional parking.





Scottsdale Health Care –  
North Medical Plaza Parking Structure

**6-DR-2005**

ATTACHMENT #2





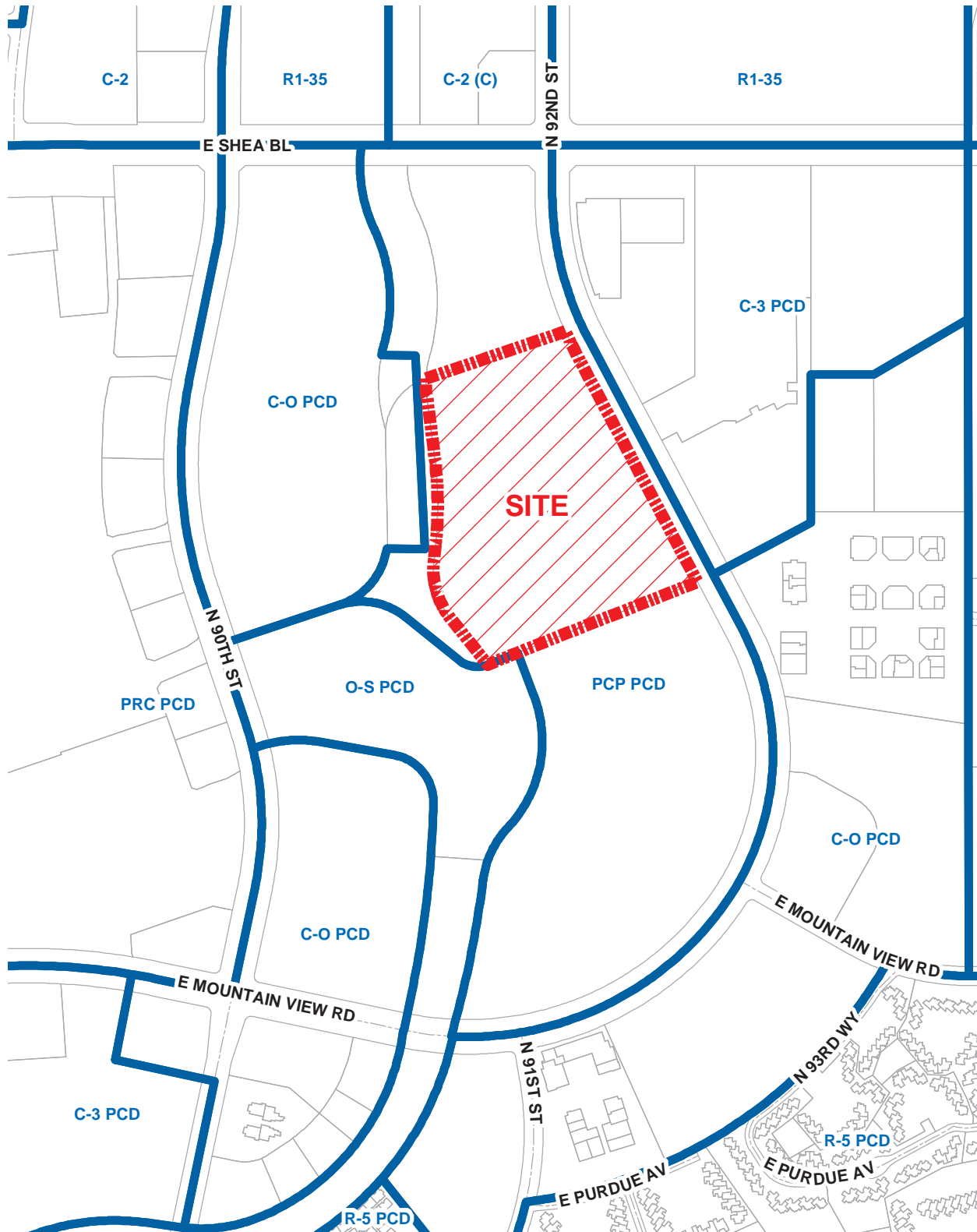
Q.S.  
28-49

G.I.S. ORTHOPHOTO 2003

Scottsdale Health Care –  
North Medical Plaza Parking Structure

**6-DR-2005**

ATTACHMENT #2A



6-DR-2005

ATTACHMENT #3



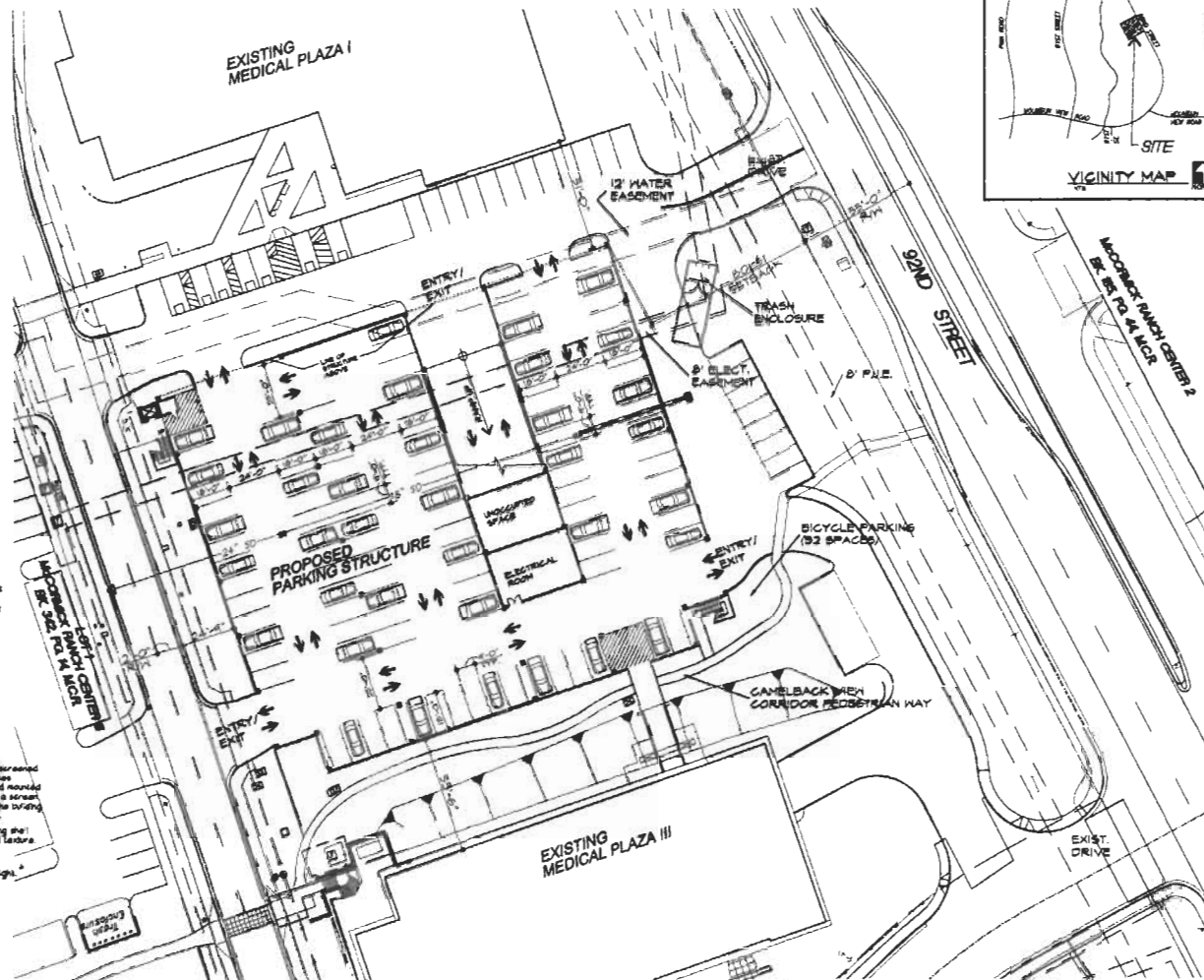
**SITE INFORMATION**  
 20244 N 42ND STREET  
 LOWEST FINISHED FLOOR: 0'-0"  
 BUILDING HEIGHT: 27'-0" (TOP OF PARAPET)  
 NET LOT AREA: 187,241 SQ. FT.  
 GROSS FLOOR AREA: 40,840 SQ. FT.

**MAX. ALLOWED LOT COVERAGE:**  
 65-58 1/2 = 13.5%  
 65-53 = 12.5%  
 92.3% = 187,241 = 482,402 SQ. FT.  
**LOT COVERAGE PROVIDED:** 250,771 SQ. FT.

**OPEN SPACE REQUIRED:**  
 0-50' = 187,241 (30) = 574,348 SQ. FT.  
 30'-50' = 281,004 (187,241) = 570,445 SQ. FT.  
**TOTAL:** = 574,248 + 571,241 = 585,572 SQ. FT.  
**REQUIRED OPEN SPACE:** = 585,572 SQ. FT.  
**OPEN SPACE PROVIDED:** = 608,108 SQ. FT.

#### GENERAL NOTES

1. Sight Distance Triangles shall be shown on final plans for driveway from commercial street and any intersections. Area within the sight triangle is to be clear of landscaping, signs, or other visibility obstructions with a height greater than 2 feet. Trees within the sight triangle shall have a canopy that begins at 7 feet in height upon installation. All heights are measured from nearest street line elevation.
2. All right-of-way, adjacent to the property shall be landscaped and maintained by the property owner.
3. All signs require separate permits and approvals.
4. No exterior vending or display shall be allowed.
5. Flagpoles, if provided, shall be one piece cantilevered.
6. No exterior public address or speaker system shall be allowed.
7. Radio antennas, if provided, shall be solid colors and shall not have any advertising in the form of signage or logos.
8. All exterior mechanical, utility, and communication equipment shall be screened to the height of the tallest unit by parapet or screen wall that matches the architectural color and architectural finish of the building. Ground mounted mechanical, utility, and communication equipment shall be screened by a screen wall that matches the architectural color and architectural finish of the building which is a minimum of 1'0" higher than the highest point of tallest unit.
9. All equipment, utilities or other appliances attached to the building shall be an integral part of the building design in terms of form, color and texture.
10. No exterior visible ladders shall be allowed.
11. All pole-mounted lighting shall be a maximum of 20 feet in height.
12. No chain link fencing shall be allowed.
13. No turf areas shall be provided.
14. For all elevations outside line of parking structure, see civil drawings.
15. All plan dimensions indicated are to column centerline, to face of concrete face of walls, or to face of masonry unless noted otherwise.
16. All floor elevations indicated are to top of finish floor unless noted otherwise.
17. Contractor shall be responsible for verifying all dimensions in field, and in the event of discrepancy, reporting such discrepancy to the architect, before commencing work. Do not make drawings.
18. Dish antennas 1/2" with 2" radius at all floor drains for proper drainage.
19. The minimum vertical design dimension from the finish floor to the underside of any element shall be 7'-0" typical (N.H.O.).
20. All exterior columns, walls, pipes, stairs, and handrails shall be painted. Color to be selected by owner.
21. Federal law requires that all requirements of the Americans with Disabilities Act (ADA) be met.
22. For civil grades, structures and sidewalk conditions, see civil drawings.



<b>JURISDICTION</b> CITY OF SCOTTSDALE	
<b>BUILDING CODE</b>	2004 INTERNATIONAL BUILDING CODE - 2004 EDITION
<b>ZONE</b>	P-CR - P-C3
<b>OCCUPANCY</b>	D-8
<b>OCCUPANT LOAD</b>	80 / SF
<b>TYPE OF CONSTRUCTION</b>	II - B
<b>APPROVED FIRE SPRINKLER SYSTEM</b>	YES

<b>BUILDING HEIGHT</b>	27'-0"
<b>FLOOR OF STORY</b>	1 STORY
<b>BUILDING AREA</b>	40,840 SQ. FT.
<b>PARKING CALCULATIONS</b>	
<b>LEVEL</b>	
<b>LEVEL</b>	NO SPACES
<b>LEVEL</b>	80 SPACES
<b>LEVEL</b>	80 SPACES
<b>TOTAL</b>	160 SPACES
<b>BIKE SPACES</b>	192 SPACES
<b>BIKE SPACES</b>	192 SPACES

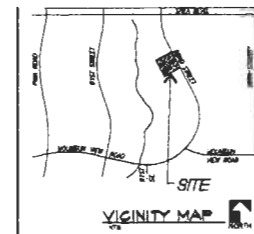
FOR CITY USE ONLY

SITE PLAN

SCALE: 1" = 20'-0"

50' 0' 50'

NORTH



**SCOTTSDALE HEALTHCARE**  
 20244 N. 42ND STREET, SUITE 100  
 SCOTTSDALE, AZ 85258  
 TEL: (480) 352-5277  
 FAX: (480) 352-1798

**SCOTTSDALE HEALTH CARE**  
**NORTH MEDICAL PLAZA**  
**PARKING STRUCTURE**  
 SCOTTSDALE, ARIZONA

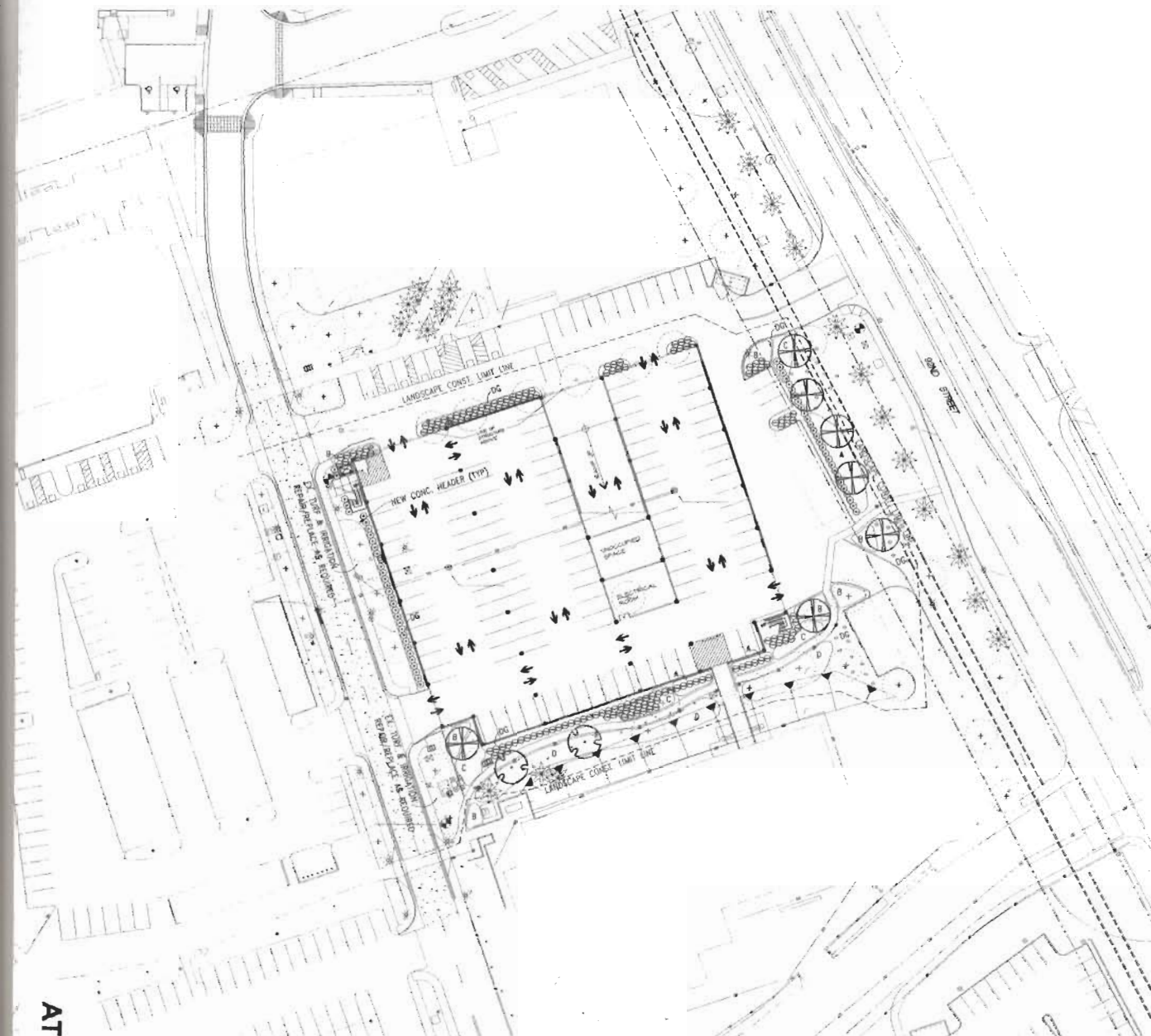
SITE PLAN



PROJECT NO. 41-880-CL  
 DRAWN BY: J. L. JONES  
 CHECKED BY: J. L. JONES  
 DATE: 01/20/05

CASE #708-PA-2004

A-21



CONCEPTUAL PLANTING PLAN



1"=30'-0"

## CONCEPTUAL PLANT PALETTE

TREES	SIZE/COMMENTS/QUANTITY
PALM TREE TO REMAIN	N/A
EXISTING TO REMOVE	N/A
EXISTING TO REMAIN	N/A
EXISTING TO RELOCATE	N/A
RELOCATED PALM BHEA	N/A
RELOCATED MESQUITE	N/A
SHRUBS	SIZE/COMMENTS/QUANTITY
RUPELLIA PENINSULARIS	5 GAL.
RUPELLIA	5 GAL.
LEUCOPHYLLUM FRUTESCENS 'COMPACTA'	5 GAL.
COMPACT TEXAS RANGER	
GROUNDCOVER	SIZE/COMMENTS/QUANTITY
AMBROSIA DELTOIDEA/ENCCELIA FARINOSA	1 GAL.
70% BURSAGE/30% BRITTLERUSH MIX	1 GAL. @ 4' DC
ACACIA NEOLEANS 'DESERT CARPET'	1 GAL. @ 5' DC
LANTANA MONTEVIDENSIS	1 GAL. @ 5' DC
TRAILING LANTANA	1 GAL. @ 5' DC
ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GAL. @ 5' DC
PROSTRATE ROSEMARY	1 GAL. @ 5' DC
VINCA MAJOR	1 GAL. @ 5' DC
PERIWINKLE	

## GENERAL NOTES

1. ALL PLANTING AREAS TO HAVE TOP DRESSING OF DECOMPOSED GRANITE, SIZE & COLOR TO MATCH EXISTING, APPLIED OVER PRE-EMERGENT PER MFG. SPECS. 2 APPLICATIONS, MIN.
2. NO PLANT SUBSTITUTIONS ALLOWED UNLESS APPROVED BY LANDSCAPE ARCHITECT.
3. LANDSCAPE ARCHITECT TO APPROVE ALL TREES AND SHRUBS PRIOR TO DELIVERY TO SITE.
4. VERIFY ALL CONDITIONS IN FIELD PRIOR TO CONSTRUCTION.
5. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO TAKE PRECAUTIONS TO PROTECT ANY EXISTING IMPROVEMENTS.
6. ALL PLANT MATERIAL NOT SHOWN TO REMAIN ON PLAN IS TO BE REMOVED.
7. ADJUST NEW LANDSCAPE TO ACCOMMODATE EXISTING LANDSCAPE TO REMAIN.
8. ALL SWALES TO BE 1'-6" RIVER ROCK TYP.
9. ALL DOWNSPOUTS / SCOPERS TO HAVE 5'-6" 3"-6" RIVER ROCK.
10. ALL TREES IN TURF AREAS ARE TO HAVE ARBOR GUARDS.
11. LANDSCAPE CONTRACTOR RESPONSIBLE TO DEMO ALL EXISTING PLANT MATERIAL NOT SHOWN TO REMAIN.
12. LANDSCAPE CONTRACTOR RESPONSIBLE TO MAINTAIN EXISTING PLANT MATERIAL TO REMAIN IN GOOD, HEALTHY CONDITION DURING CONSTRUCTION.
13. ALL TURF TO BE 'MID-IRON' HYBRID SOG.
14. ALL HEADER TO BE CONCRETE, 'CREATIVE CURB' OR EQUAL.
15. THE PLANT LIST REFERS TO ONE PLANT PER SYMBOL. OPTIONAL PLANT SPECIES ARE PROVIDED ONLY IN THE EVENT THAT THE MAIN PLANT IS UNAVAILABLE OR INTERFERES. THE CONTRACTOR "MUST" CONTACT THE LANDSCAPE ARCHITECT IN THE EVENT THAT MAIN PLANT IS UNAVAILABLE, INTERFERE, AND AN OPTIONAL PLANT IS REQUIRED. THE OPTION MAY "ONLY" BE USED IF APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION/DELIVERY TO SITE.
16. ANY EXISTING PLANT MATERIAL NOT SHOWN TO REMAIN IS TO BE REMOVED BY CONTRACTOR.

## EXIST. CONDITIONS GENERAL NOTES

1. ALL PLANT MATERIAL DESIGNATED AS "EXIST TO REMAIN" SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTION. ANY TREE THAT DIES DUE TO LACK OF WATER, MAINTENANCE OR CARE, NEGLIGENCE OR VANDALISM SHALL BE REPLACED BY A LIKE TYPE TREE, 48" BOX MIN. AT NO ADDITIONAL COST TO THE OWNER.
2. ALL SHRUBS/COVERS SHALL BE REPLACED W/ 5 GAL PLANTS.
3. LANDSCAPE AREAS DISTURBED BY NEW CONSTRUCTION SHALL BE REPLACED W/ NEW SOG MATCHING EXISTING. BLEND ALL DISTURBED AREAS SO THERE IS SMOOTH TRANSITION BETWEEN ALL EDGES.
4. ANY/ALL BROKEN HEADERS TO BE REPLACED.
5. ALL EXISTING PLANT MATERIAL AND ADJACENT PLANT MATERIAL SHALL HAVE UNINTERRUPTED WATERING DURING ALL PHASES OF CONSTRUCTION. THIS SHALL INCLUDE BUT NOT BE LIMITED TO: HAND WATERING, TRUCK WATERING, TEMPORARY SYSTEM, ETC.
6. THE EXISTING IRRIGATION SYSTEM SHALL BE PROTECTED, MAINTAINED AND REPAIRED DURING ALL PHASES OF CONSTRUCTION. THE EXISTING SYSTEM IS TIED TO ADJACENT PROPERTIES. ALL EQUIPMENT SUCH AS MAINLINE, WHIRLS, LATERALS, HEADS, EMITTERS, ETC SHALL BE REPAIRED/REPLACED AS NEEDED TO MAINTAIN CONTINUOUS WATER.
7. ALL EXISTING TREES TO REMAIN SHALL BE SELECTIVELY PRUNED PER LANDSCAPE ARCHITECT DIRECTION.

**PRELIMINARY -  
NOT FOR  
CONSTRUCTION**



6025 N. 40th Street  
Phoenix, AZ 85018  
602.962.8800  
602.962.8801  
602.962.8802



SCOTTSDALE HEALTH CARE  
NORTH MEDICAL PLAZA  
PARKING STRUCTURE  
SCOTTSDALE ARIZONA

ALL PLANTING AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ARIZONA LANDSCAPE ARCHITECTURE BOARD'S SPECIFICATIONS AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EXISTING PLANT MATERIAL AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ANY PLANT MATERIAL OR STRUCTURES THAT ARE DAMAGED OR DESTROYED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EXISTING PLANT MATERIAL AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ANY PLANT MATERIAL OR STRUCTURES THAT ARE DAMAGED OR DESTROYED DURING CONSTRUCTION.

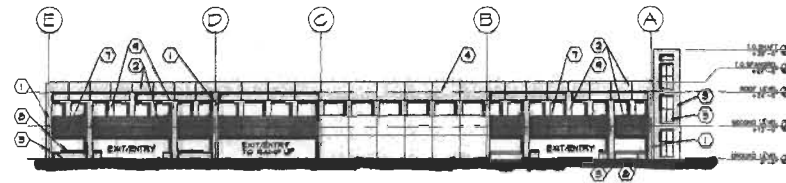


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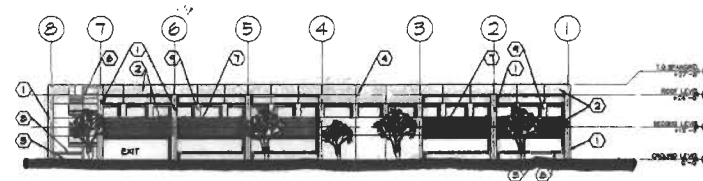
6-DR-2005

01/20/05

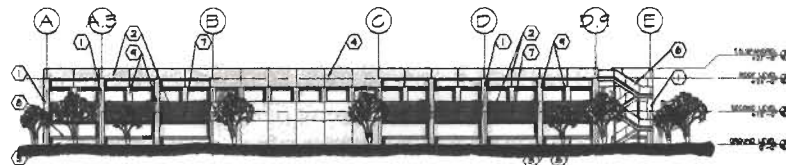




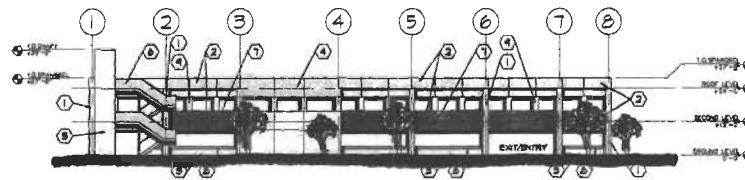
**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"  
#2 ND STREET ELEVATION



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

- KEYNOTES**
- 1 CONCRETE COLUMN - FINISHED
  - 2 CONCRETE SPANDREL - FINISHED
  - 3 4\"/>



**SCOTTSDALE HEALTHCARE**  
1801 N. BERRY AVENUE, SUITE C  
SCOTTSDALE, AZ 85257-1000  
TEL: (480) 475-4877  
FAX: (480) 475-4700

**SCOTTSDALE HEALTH CARE  
NORTH MEDICAL PLAZA  
PARKING STRUCTURE**  
SCOTTSDALE, ARIZONA

ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY, OR FOR ANY CONSEQUENCES OF ANY ACTION OR INACTION TAKEN BY ANY PARTY, IN CONNECTION WITH THE USE OF THIS DRAWING. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE BUILDING AND ITS STRUCTURAL SYSTEMS. THE ARCHITECT DOES NOT GUARANTEE THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS. THE ARCHITECT'S DESIGN IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT DOES NOT GUARANTEE THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS. THE ARCHITECT'S DESIGN IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT.

**EXTERIOR ELEVATIONS**

PROJECT NO.	04-000-01
DATE	12-18-04
DESIGN BY	
CHECKED BY	
APPROVED BY	

CASE #708-PA-2004

**SCOTTSDALE HEALTHCARE**  
**North medical parking structure**  
10244 N. 90<sup>th</sup> Street  
Scottsdale, AZ.

## FIRE ORDINANCE REQUIREMENTS

(INCORPORATE INTO BUILDING PLANS AS GENERAL NOTE BLOCK - USE ONLY THE DESIGNATED STIPULATIONS)

- ☒ 1. PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE & MUST BE ON ALL PLANS.
- ☒ 2. FIRE LANES & EMERGENCY ACCESS SHALL BE PROVIDED & MARKED IN COMPLIANCE WITH CITY ORDINANCE & IFC AT THE FOLLOWING LOCATIONS.  
AS SHOWN MIN. OUTSIDE TURNING RADIUS 45'-0"  


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- ☒ 3. IT IS THE DEVELOPERS RESPONSIBILITY TO DETERMINE ULTIMATE COMPLIANCE WITH THE FAIR HOUSING AMENDMENTS ACT & AMERICANS WITH DISABILITIES ACT & INCORPORATE SAME INTO THEIR BUILDING PLANS.
- ☐ 4. SUBMIT PLANS & SPECS FOR SUPERVISED AUTOMATIC EXTINGUISHING SYSTEM FOR ALL COOKING APPLIANCES, HOOD PLENUMS & EXHAUST DUCTS.
- ☒ 5. PROVIDE A KNOX ACCESS SYSTEM:
  - ☒ A. KNOX BOX
  - ☐ B. PADLOCK
  - ☐ C. KNOX OVERRIDE & PRE-EMPTION STROBE SWITCH FOR AUTOMATIC GATES.
- ☒ 6. INSTALL AN AS BUILT DRAWING CABINET ADJACENT TO THE FIRE SPRINKLER RISER. IT SHALL BE OF ADEQUATE SIZE TO ACCOMMODATE BOTH THE FIRE SPRINKLER & FIRE ALARM DRAWINGS. THE CABINET SHALL BE PROVIDED WITH A LOCK & KEYED TO MATCH THE FIRE ALARM CONTROL PANEL & SUPERVISED BY THE FACP IF APPLICABLE.
- ☐ 7. SUBMIT PLANS FOR A CLASS \_\_\_\_\_ FIRE ALARM SYSTEM PER SCOTTSDALE REVISED CODES.
- ☒ 8. PROVIDE INTERIOR TENANT NOTIFICATION WHEN OFF-SITE MONITORING IS REQUIRED.  
 (SEE FIRE ALARM INTERPRETATIONS FOR CLARIFICATION)
- ☒ 9. ADD 2-1/2" WET FIRE HOSE VALVES (NSHT) IF FLOOR AREA EXCEEDS 10,000 SQ. FT. PER FLOOR LEVEL AND/OR IF FIRE DEPT. ACCESS IS LIMITED TO LESS THAN 360°. EACH LEVEL  


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- ☒ 10. BUILDINGS MAY BE SUBJECT TO INSTALLATION AND TESTING REQUIREMENTS FOR A PUBLIC SAFETY RADIO AMPLIFICATION SYSTEM.
- ☒ 11. BACKFLOW PREVENTION WILL BE REQUIRED ON VERTICAL RISER FOR CLASS 1 & 2 FIRE SPRINKLER SYSTEMS PER SCOTTSDALE REVISED CODE.
- ☒ 12. PROVIDE ALL WEATHER ACCESS ROAD (MIN. 16') TO ALL BUILDINGS & HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION.
- ☒ 13. SEE APPROVED CIVILS FOR THE NUMBER OF FIRE HYDRANTS REQUIRED. DEVELOPER SHALL HAVE THE REQUIRED HYDRANTS INSTALLED & OPERABLE PRIOR TO THE FOOTING INSPECTION. HYDRANTS SHALL BE SPACED AT A MAXIMUM OF EXISTING AT 20 GPM. THE DEVELOPER SHALL MAKE THE C.O.S. APPROVED CIVIL WATER PLANS AVAILABLE TO THE FIRE SPRINKLER CONTRACTOR.
- ☐ 14. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED. SEE SHEET(S) \_\_\_\_\_
- ☒ 15. EXIT & EMERGENCY LIGHTING SHALL COMPLY WITH THE C.O.S. ORDINANCE & THE IFC. SEE SHEETS \_\_\_\_\_
- ☐ 16. SUBMIT MSDS SHEETS & AGGREGATE QUANTITY FOR ALL HAZARDOUS MATERIALS INCLUDING FLAMMABLES, PESTICIDES, HERBICIDES, CORROSIVES, OXIDIZERS, ETC.  
 A PERMIT IS REQUIRED FOR ANY AMOUNT OF HAZARDOUS MATERIALS STORED, DISPENSED, USED OR HANDLED. COMPLETE AN HMMP & SUBMIT WITH THE BUILDING PLANS.
- ☒ 17. FIRELINE, SPRINKLER & STANDPIPE SYSTEM SHALL BE FLUSHED & PRESSURE TESTED PER NFPA STANDARDS & SCOTTSDALE REVISED CODES.
- ☒ 18. FDC SIAMESE CONNECTIONS FOR SPRINKLERS AND/OR STANDPIPES WILL BE LOCATED PER ORDINANCE AND/OR AT AN APPROVED LOCATION. MINIMUM SIZE 2-1/2 x 2-1/2 x 4" (NSHT)
  - ☒ 4' TO 8' BACK OF CURB; INDEP. WET LINE.
  - ☐ WALL MOUNTED - 15' CLEAR OF OPENINGS.
- ☒ 19. THE FIRE LINE SHALL BE EXTENDED A MAXIMUM OF 3' INTO THE BUILDING WITH A MINIMUM OF \_\_\_\_\_ CLEARANCE AROUND THE FIRE RISER. EXTERIOR ACCESS REQUIRED.



20. ☒ SPRINKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH MINIMUM NFPA CRITERIA 2002 EDITION & SCOTTSDALE REVISED CODES. SYSTEMS WITH 100 HEADS OR MORE SHALL HAVE OFF-SITE MONITORING. AFTER BUILDING PLAN REVIEW, INSTALLING CONTRACTOR SHALL SUBMIT (3) THREE COMPLETE SETS OF DRAWINGS & HYDRAULIC CALCULATIONS REVIEWED BY A MINIMUM NICET III DESIGN TECHNICIAN.
- ☐ A. MODIFIED NFPA 13-D SYSTEM WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS (2002 EDITION)
- ☐ B. MODIFIED NFPA 13R SYSTEM (2002 EDITION) WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS IN DWELLING UNITS & ATTIC AREAS FED FROM SEPARATE FIRELINE PER C.O.S. ORDINANCE & INTERPRETATIONS & APPLICATIONS. CALCULATE UP TO FOUR REMOTE HEADS & 900 SQ FT MIN. IN ATTIC.
- ☒ C. NFPA 13 2002 EDITION COMMERCIAL SYSTEM / DESIGN CRITERIA: .15/1500, PARKING GARAGE SEISMIC DESIGN CATEGORY SHALL BE DETERMINED BY STRUCTURAL ENGINEER.
- ☐ D. THE FIRE SPRINKLER SYSTEM DESIGN FOR WAREHOUSE / STORAGE OCCUPANCIES SHALL BE BASED ON THE FULL HEIGHT CAPACITY OF THE BUILDING PER SCOTTSDALE REVISED CODE. DENSITY CRITERIA:
- ☐ E. SPRINKLER DESIGN CRITERIA FOR UNSPECIFIED WAREHOUSE COMMODITIES: .45 OVER 3000 SQ. FT.
- ☐ F. THE PROJECT SPECIFICATIONS SHALL BE SUBMITTED WITH CONTRACT DRAWINGS.
- ☐ G.

Submit three (3) complete sets of drawings submitted by installing contractor, after building plan review is complete. Please refer questions to Fire Dept. Plan Review, 312-7070, 312-7684, 312-7127, 312-2372.

# **Stipulations for Case: Scottsdale Healthcare Medical Plaza Parking Structure Case 6-DR-2005**

Unless otherwise stated, the applicant agrees to complete all requirements prior to final plan approval, to the satisfaction of Project Coordinator and the Final Plans staff.

## **PLANNING**

### **APPLICABLE DOCUMENTS AND PLANS:**

#### **DRB Stipulations**

1. Except as required by the City Code of Ordinances, Zoning Regulations, Subdivision Regulations, and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
  - a. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevations submitted by Kracor, Inc. with a date provided on the plans by City Staff of 1/20/2005.
  - b. The location and configuration of all site improvements shall be constructed to be consistent with the site plan submitted by Kracor, Inc. with a date provided on the plans by City Staff of 1/20/2005.
  - c. Landscaping, including quantity, size, and location of materials shall be installed to be consistent with the conceptual landscape plan submitted G.K. Flanagan Associates with a date provided on the plans by City Staff of 1/20/2005.

### **ARCHITECTURAL DESIGN:**

#### **DRB Stipulations**

2. Any exterior conduit and raceways shall be painted to match the building.
3. Roof drainage systems shall be interior, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design.
4. Wall enclosures for refuse bins or trash compactors shall be constructed of materials that are compatible with the buildings on the site in terms of color and texture.
5. All walls shall match the architectural color, materials and finish of the building.

### **SITE DESIGN:**

#### **DRB Stipulations**

6. The trash enclosure along 92<sup>nd</sup> Street shall be screened with enhanced landscaping as approved by the project coordinator, or be relocated to an internal private drive.

#### **Ordinance**

- A. A minimum of a 40-foot landscape open space setback shall be provided adjacent to 92<sup>nd</sup> Street in accordance with the master plan approved in case 44-ZN-1990.
- B. The applicant shall replace all of the existing accessible parking stalls located in the location of the existing parking lot with the construction of the parking garage.
- C. The applicant shall provide an equal percentage of covered accessible parking stalls (standard and van) with in the parking structure.

## **ATTACHMENT B**



**LANDSCAPE DESIGN:****DRB Stipulations**

7. Upon removal of the salvageable native plants the salvage contractor shall submit completed Native Plant Tracking Form as well as a list identifying the tag numbers of the plants surviving salvage operations to the City's Inspection Services Unit within 3 months from the beginning of salvage operations and/or prior to the issuance of the Certificate of Occupancy.

**Ordinance**

- D. All landscaping shall comply with the Scottsdale Healthcare Campus Design Guidelines.
- E. Fifty percent of the provided trees shall be mature as defined by the Zoning Ordinance.

**EXTERIOR LIGHTING DESIGN:****DRB Stipulations**

8. All exterior luminaries shall meet all IESNA requirements for cutoff, match the exist Scottsdale Healthcare fixtures, and shall be aimed downward and away from property line except for sign and parking lot canopy lighting.
9. The individual luminaire lamp shall not exceed 250 watts.
10. The maximum height from finished grade to the bottom of the any exterior luminaire shall not exceed 20 feet.
11. All exterior light poles, pole fixtures, and yokes, including bollards shall be a flat black or dark bronze.
12. Incorporate into the project's design, the following:

**Parking Lot and Site Lighting (not including the parking garage area):**

- a. The maintained average horizontal illuminance level, at grade on the site shall not exceed 2.5 foot-candles.
- b. The maintained maximum horizontal illuminance level, at grade on the site, shall not exceed 10.00 foot-candles, unless otherwise approved by the project coordinator. All exterior luminaries shall be included in this calculation.

**Building Mounted Lighting:**

- c. All luminaries shall be recessed or shielded so the light source is not directly visible from property line.

**Parking Garage Lighting:**

- d. The lenses of all parking structure pole mounted fixtures located on the top level of the parking garage shall meet all IESNA requirements for cutoff and match the existing Scottsdale Healthcare, shall be aimed downward and away from property line.
- e. All pole-mounted lighting on the top level of the parking structure shall be a maximum of 12-feet in height, and shall not be located within 42-feet of any facade of the parking structure.
- f. The maintained average horizontal illuminance level, on the top level of the structure, shall not exceed 5.0 foot-candles, unless otherwise approved by the project coordinator. All exterior luminaries shall be included in this calculation.
- g. The light sources of the luminaries within the parking structure shall not be visible from outside of the parking structure to the satisfaction of the Plan Review and Permit Services and the Inspection and Survey Services staff.
- h. All lighting within the parking structure, with the exception of the stairwells shall be a full cutoff fixture equivalent to the proposed fixture A.

- i. All parking garage stairwell fixtures visible from the outside of the parking structure shall be full cutoff.
- j. All fixtures mounted on the interior of the parking structure parapet, shall be a minimum of 6 inches below the parapet.

**VEHICULAR AND BICYCLE PARKING:**

**DRB Stipulations**

- 13. Bike rack design shall be in conformance with City of Scottsdale M.A.G. Details unless otherwise approved in writing by the City of Scottsdale's Transportation Department.

**RELEVANT CASES:**

**Ordinance**

- F. At the time of review, the applicable zoning case(s) for the subject site were: 44-ZN-1990.



## **ENGINEERING**

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all inclusive of project requirements. The developer shall submit engineering design reports and plans that demonstrate compliance with city ordinances, the Scottsdale Revised Code and the Design Standards and Policies Manual.

### **APPLICABLE DOCUMENTS AND PLANS:**

14. Except as required by the City Code of Ordinances, Zoning Regulations, Subdivision Regulations, and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
  - a. The location and configuration of all site improvements shall be designed to be consistent with the Final Drainage Report prepared by Evans, Kuhn & Associates, Inc., dated 12/21/2004.
  - b. The location and configuration of all site improvements shall be designed to be consistent with the Conceptual Grading and Drainage Plan prepared by Evans, Kuhn & Associates, Inc., dated 1/12/2005.
  - c. The location and configuration of site improvements shall be constructed to be consistent with the site plan submitted by Kracor, Inc. with a date provided on the plans by City Staff of 1/20/2005.

### **CIVIL IMPROVEMENT PLAN REQUIREMENTS:**

#### **DRB Stipulations**

15. Final improvement plans shall reflect all existing and proposed improvements, modifications, rights-of-way, and easements, and shall be submitted for review and approval by the City.

### **DRAINAGE AND FLOOD CONTROL:**

#### **DRB Stipulations**

16. A copy of the final drainage report shall be submitted with improvement plans for review. Before the approval of improvement plans by city staff, the developer shall submit two (2) hard copies and one (1) compact disc copy of the complete final drainage report and plan.
17. Existing site meets stormwater storage requirements. A Stormwater Storage Waiver or additional storage is not required for this project.
18. Basin Configuration:
  - a. Basin side slopes shall not be steeper than 4:1, and basin depths shall not exceed 3 feet.
  - b. A maximum of 50% of the front open space may be used as a retention/detention basin unless approved by the Project Coordination Manager.
19. Stormwater Storage on Paved Surfaces. Up to 50% of required stormwater storage may be provided in parking areas when the following conditions are met:
  - a. Storage system shall be designed to store first 30% of required runoff volume off paved areas (to avoid ponding of nuisance water on pavement).
  - b. Parking lot storage areas shall be designed so as to minimize interference with pedestrian traffic. Depth of water shall not exceed six inches within the parking area.

#### **Ordinance**

- G. Underground Stormwater Storage:
  - (1) Underground stormwater storage is prohibited unless approval is obtained from the City's Floodplain Administrator.

- (2) Drywells are not permitted.

**INTERNAL CIRCULATION:****DRB Stipulations**

20. Parking structure and/or northern driveway shall be modified, to align internal drive lanes properly and to facilitate internal circulation for emergency and service vehicles. If driveway is to be reconstructed, the design and construction shall be consistent with the driveway type that currently exists.
21. Internal drive at southeast corner shall maintain minimum width of 24 feet.
22. Sidewalk at driveway entrances shall be extended to provide access to parking areas and existing structures.
23. The developer shall provide a minimum parking-aisle width of 24 feet.
24. The developer shall provide internal circulation that accommodates emergency and service vehicles with an outside turning radius of 45 feet and inside turning radius of 25 feet.

**Ordinance**

- H. Parking areas shall be improved with a minimum of 2.5 inches of asphalt over 4 inches of aggregate base.

**EASEMENTS AND DEDICATIONS****DRB Stipulations**

25. Sight distance easements shall be dedicated over sight distance triangles.
  - a. Sight distance triangles must be shown on final plans to be clear of landscaping, signs, or other visibility obstructions between 2 feet and 7 feet in height.
  - b. Refer to the following figures: 3.1-13 and 3.1-14 of Section 3.1 of the City's Design Standards and Policies Manual, published December 1999.

**Ordinance**

- I. Drainage Easement:
- (1) Drainage and flood control easements shall be dedicated to the City to the limits of inundation for all vista corridor washes, for all washes having a discharge rate of 25 cfs or more, for all FEMA regulatory floodways to the extent of the 100-year base flood elevation, and for all stormwater storage basins. All drainage and flood control easements shall be dedicated to the City with maintenance responsibility specified to be that of the property owner.
- J. Waterline and Sanitary Sewer Easements:
- (1) Before the issuance of any building permit for the site, the developer shall dedicate to the City, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, all water easements necessary to serve the site.

**REFUSE:****DRB Stipulations**

26. Refuse enclosures shall be constructed to City of Scottsdale's standards. Details for construction of trash enclosures can be found in the City of Scottsdale Supplements to MAG Standards, standard detail #2146 for single enclosures and #2147 for double enclosures.
27. Enclosures must:
  - a. Provide adequate truck turning/backing movements for a design vehicle of turning radius R (minimum) = 45 feet vehicle length of L = 40 feet.

- b. Be positioned to facilitate collection without "backtracking."
- c. Be easily accessible by a simple route.
- d. Not require backing more than 35 feet.
- e. Not be located on dead-end parking aisles.
- f. Enclosures serviced on one side of a drive must be positioned at a 30-degree angle to the centerline of the drive.

**Ordinance**

- K. Underground vault-type containers are not allowed.
- L. Refuse collection methods, i.e., site plan circulation will be approved at final plan review.
- M. Refuse collection can be provided by the City of Scottsdale's Sanitation Division, at 480-312-5600.

**WATER AND WASTEWATER STIPULATIONS**

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all-inclusive of project requirements. Water and sewer lines and services shall be in compliance with City Engineering Water and Sewer Ordinance, the Scottsdale Revised Code and Sections 4 and 5 of the Design Standards and Policies Manual.

**DRB Stipulations**

- 28. Existing Waterline and other utilities located under the proposed structure shall be removed and relocated in an area not located under the structure, subject to City review and approval. Existing utility easements not required shall be released. New utility easements shall be dedicated as necessary for the proposed utility relocations/realignments. Where walls cross or run parallel with public water mains, public sewer mains, or public fire lines the following shall apply:
  - a. For walls constructed parallel to these pipes, the walls shall be a minimum of six (6) feet from the outside diameter of the pipe.
  - b. For walls constructed across or perpendicular to these pipes, the walls shall be constructed with gates or removable wall panels for maintenance and emergency access.

**WATER:****Ordinance**

- N. The water system for this project shall meet required health standards and shall have sufficient volume and pressure for domestic use and fire protection.

**CONSTRUCTION REQUIREMENTS****DRB Stipulations**

- 29. City staff may at any time request the developer to submit as-built plans to the Inspection Services Division.
  - a. As-built plans shall be certified in writing by a registered professional civil engineer, using as-built data from a registered land surveyor.
  - b. As-built plans for drainage facilities and structures shall include, but are not limited to, streets, lot grading, storm drain pipe, valley gutters, curb and gutter, flood walls, culverts, inlet and outlet structures, dams, berms, lined and unlined open channels, storm water storage basins, underground storm water storage tanks, and bridges as determined by city staff.

**Ordinance**

- O. Section 404 permits. With the improvement plan submittal to the Plan Review and Permit Services Division, the developer's engineer must certify that it complies with, or is exempt from, Section 404 of the



Clean Water Act of the United States. [Section 404 regulates the discharge of dredged or fill material into a wetland, lake, (including dry lakes), river, stream (including intermittent streams, ephemeral washes, and arroyos), or other waters of the United States.]